

NG
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PROJECT NUMBER: FR-2018-001519

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

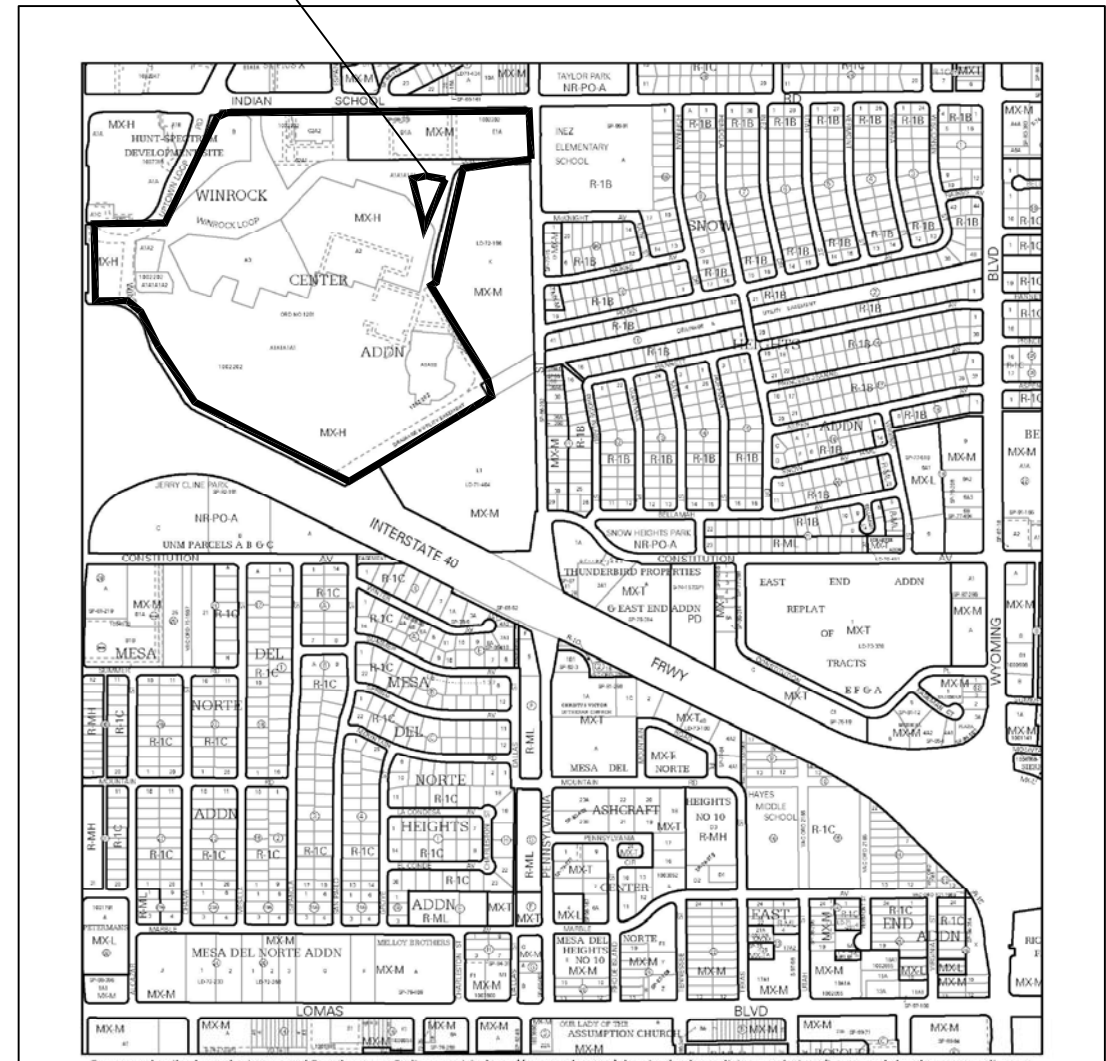
Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

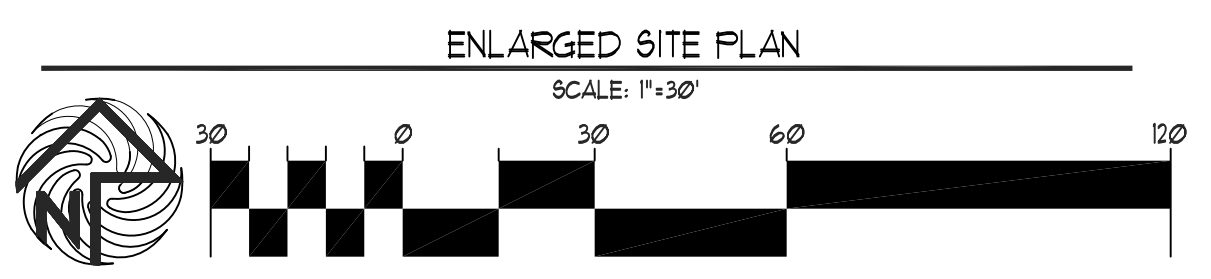
Traffic Engineering, Transportation Division	Date
ABQUMA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRG Chairperson, Planning Department	Date

- KEYED NOTE:
- INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 1/A11
 - 20' LIGHT POLE LOCATION RE: DETAIL 3/A11
 - INTEGRALLY COLORED CONC. SIDEWALK RE: DET 2/A12
 - INDICATES EXISTING SIDEWALK SLAB AREA TO REMAIN
 - INDICATES NEW CONC. SIDEWALK FLUME WITH STEEL COVER PLATE RE: DETAIL 12/A12
 - INDICATES NEW TEMP ASPHALT 6" EXTRUDED CURB
 - INDICATES OFFSITE TEMP LANDSCAPE AREA TO BE GRAVELED ONLY (RE: LANDSCAPE PLAN)
 - INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL 11/A12 TYPICAL BIKE RACK GRAPHIC SYMBOL:
 - BENCH LOCATION TYPICAL BENCH GRAPHIC SYMBOL:
 - TRASH RECEPTACLE
 - 6" STEEL BOLLARD WITH CUSTOM CAP
 - HANDICAP RAMP RE: 15/A11
 - HANDICAP RAMP RE: 16/A11
 - HANDICAP RAMP RE: 12/A11
 - HANDICAP RAMP RE: 17/A11
 - INDICATES LANDSCAPE AREA GC TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
 - INDICATES 1" CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A11 FOR KNOTCH DETAIL
 - NOT A PART-FUTURE REDEVELOPMENT PHASE
 - 6" HIGH CONC. ISLAND RE: DET 4/A11 RE: SITE GRADING PLAN FOR INFO
 - DUAL CONFIGURATION HC PARKING STALL RE: DET 9/A12
 - WHEELSTOP RE: DET 5/A12
 - INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION NOTE: EACH ONSITE STALL MEASURES 4' X 8' IN SIZE RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A12 FOR "MOTOR CYCLE PARKING" SIGN DETAIL
 - EXTERIOR DECORATIVE CONCRETE ENTRY AREA MAIN BUILDING ENTRY PATHWAY
 - INDICATES PROPOSED CURBING TO RECIEVE FIRE STRIPE PAINT CURB RED IN COLOR
 - EXISTING ASPHALT DRIVE
 - NEW ASPHALT DRIVE RE: CIVIL FOR GRADES/PROFILE
 - TIE NEW SIDEWALK INTO FACE OF EXISTING SIDEWALK LOCATION
 - HC PARKING STALL RE: DET 5/A12
 - INDIATES LANDLORD WORK SCOPE AREA
 - INDIATES HOTEL OWNERSHIP WORK SCOPE AREA
 - INDIATES EXISTING PAVEMENT/FLATWORK/LANDSCAPE/CURB AND GUTTER TO BE REMOVED
 - INDIATES ISLAND AND LANDSCAPING TO REMAIN
 - INDIATES ISLAND CURB AND GUTTER/LANDSCAPING TO BE REMOVED. PATCH AREA WITH ASPHALT/MATCH GRADES TO ADJACENT ASPHALT AREA.

HOTEL PROJECT LOCATION



VICINITY MAP



SITE DATA TABLE	PROJECT AREA PHASE LIMITS (LOT-A-1-A-1-A)
LEGAL DESCRIPTION	PARCEL 1-A-1 WINROCK CENTER ADDITION
TOTAL ACREAGE:	2.41 ACRES PROPOSED
EXISTING ZONING:	MX-H
PROPOSED USE:	HOTEL
PROPOSED BUILDING SIZE:	149 ROOMS
TOTAL PARKING PROVIDED WITHIN PROJECT AREA:	160 PARKS
TOTAL PARKING REQ.:	149 ROOMS / 3 X 2 = 99 REQUIRED PARKS
HC PROVIDED:	6 SPACES (NOTE: ALL SPACES VAN ACCESSIBLE)
HC REQUIRED:	6 SPACES
BIKE SPACES PROVIDED:	10 SPACES
BIKE SPACES REQUIRED:	6 SPACES
MOTORCYCLE SPACES PROVIDED:	3 SPACES
MOTORCYCLE SPACES REQUIRED:	3 SPACES

LINETYPE LEGEND

INTERNAL PHASE LINE	
MATCH LINE	
EXISTING PROPERTY LINE	
EXISTING CURB LINE	
PROPOSED CURB LINE	

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 305
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: WINROCK TOWN CENTER
 2100 LOUISIANA BLVD NE
 ALBUQUERQUE, NEW MEXICO

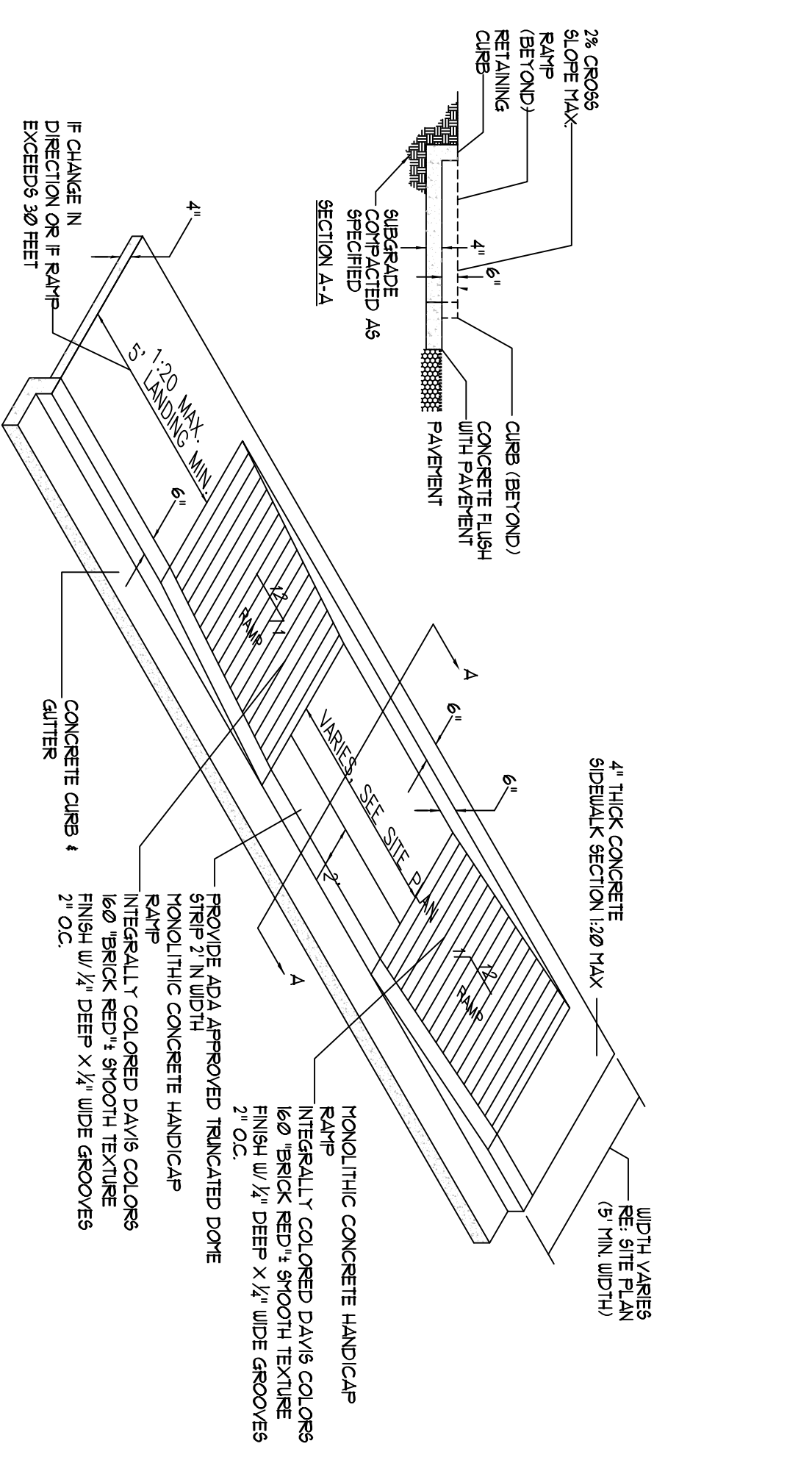
JOB NO.: WIN-HOTEL

PROJECT MANAGER: STEPHEN DUNBAR, AIA

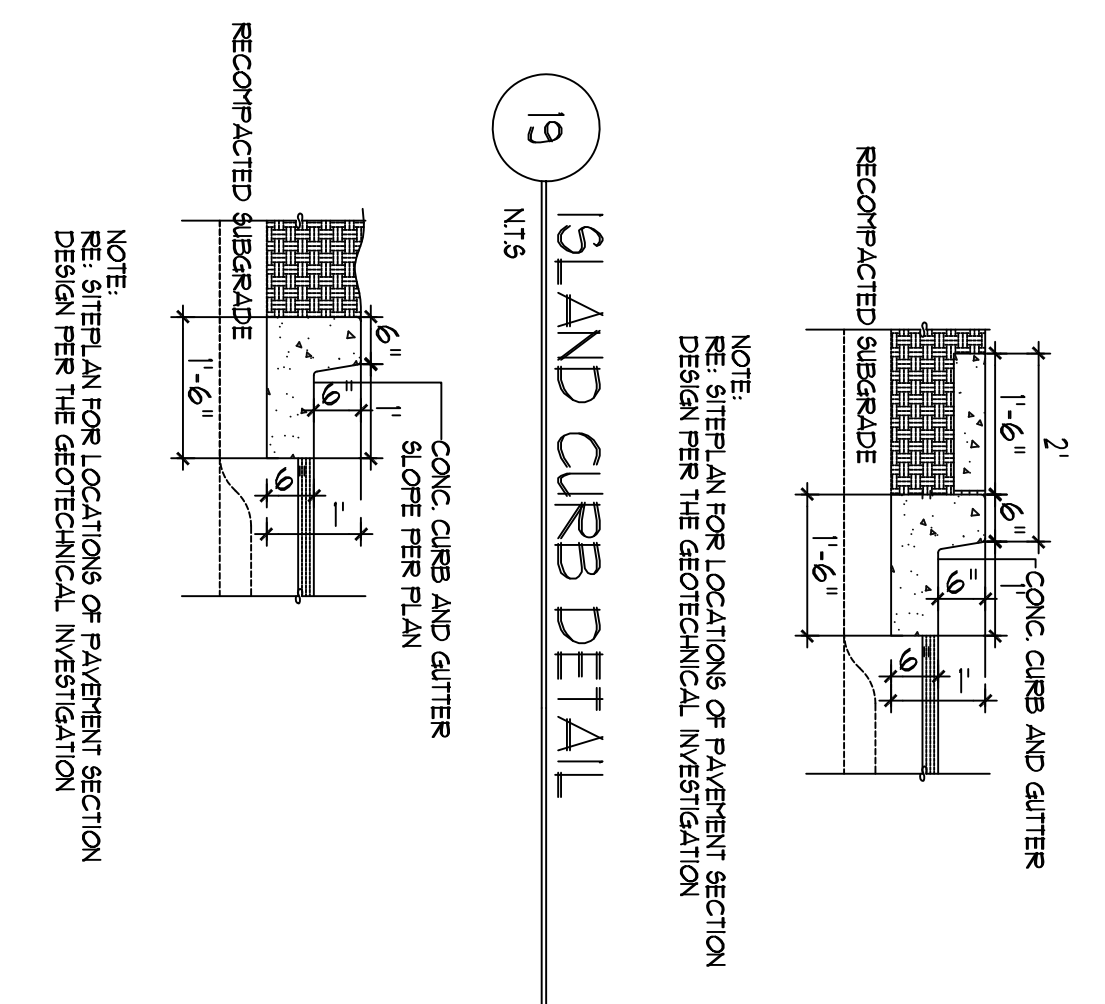
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SHEET TITLE: PROPOSED HOTEL DEVELOPMENT

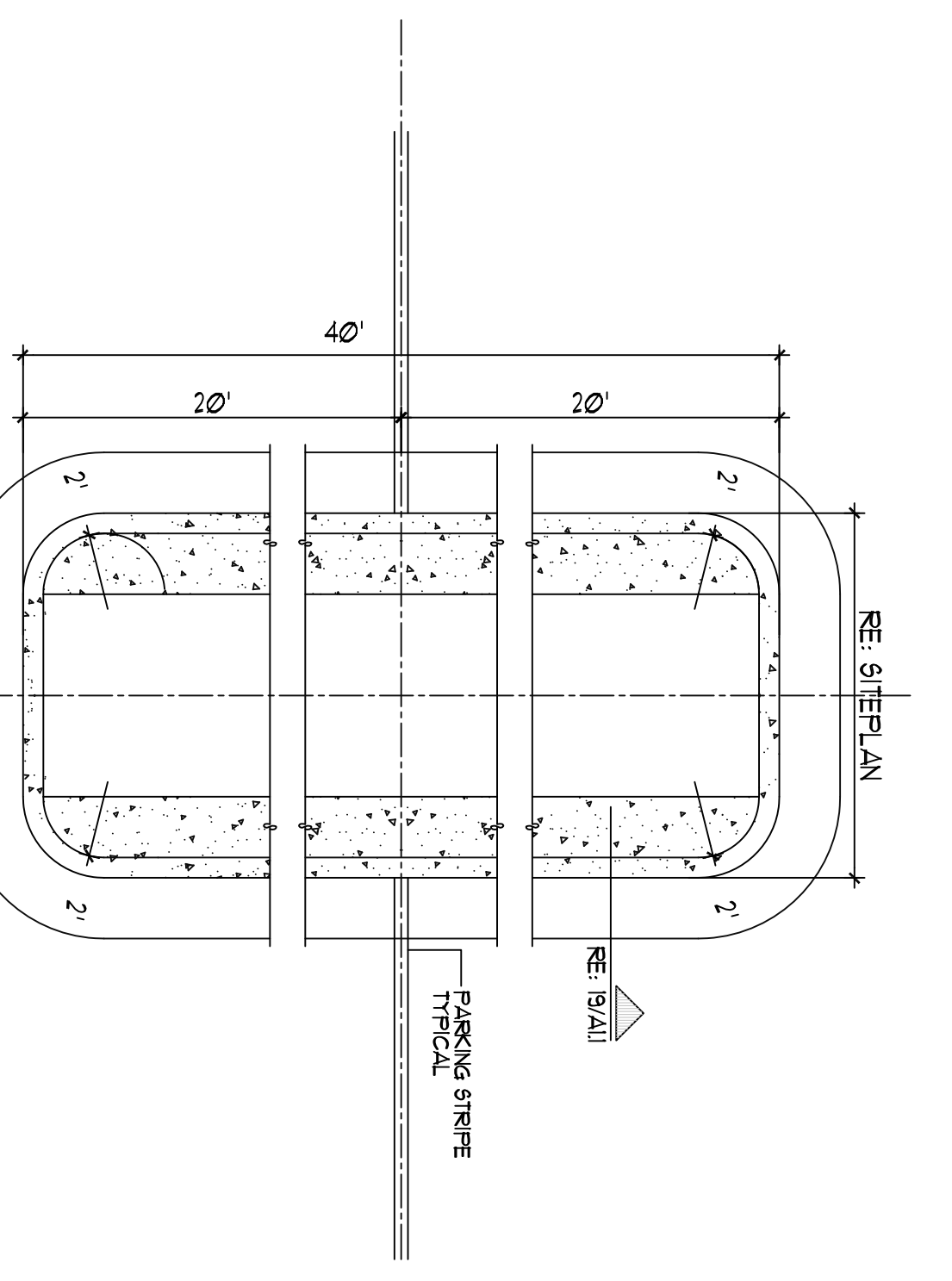
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SCALE: RE: SCALE	of.



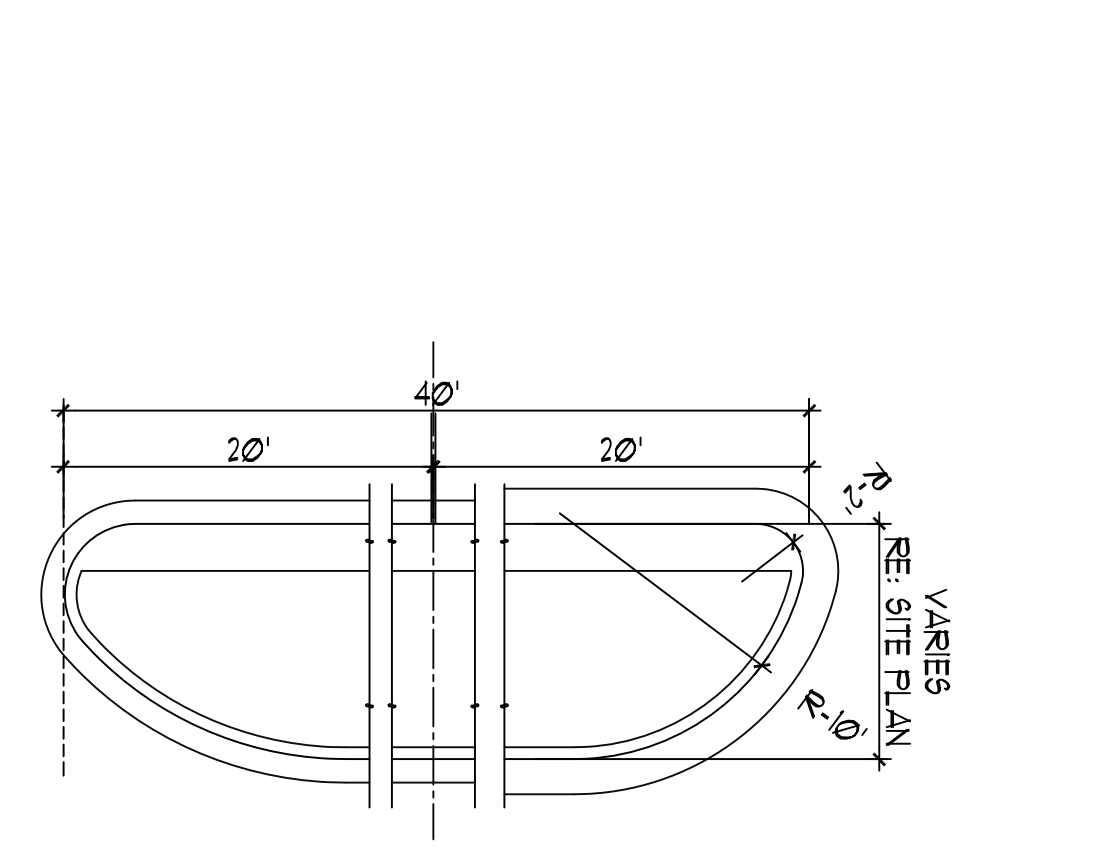
11 TAPERED H/C RAMP
NTS



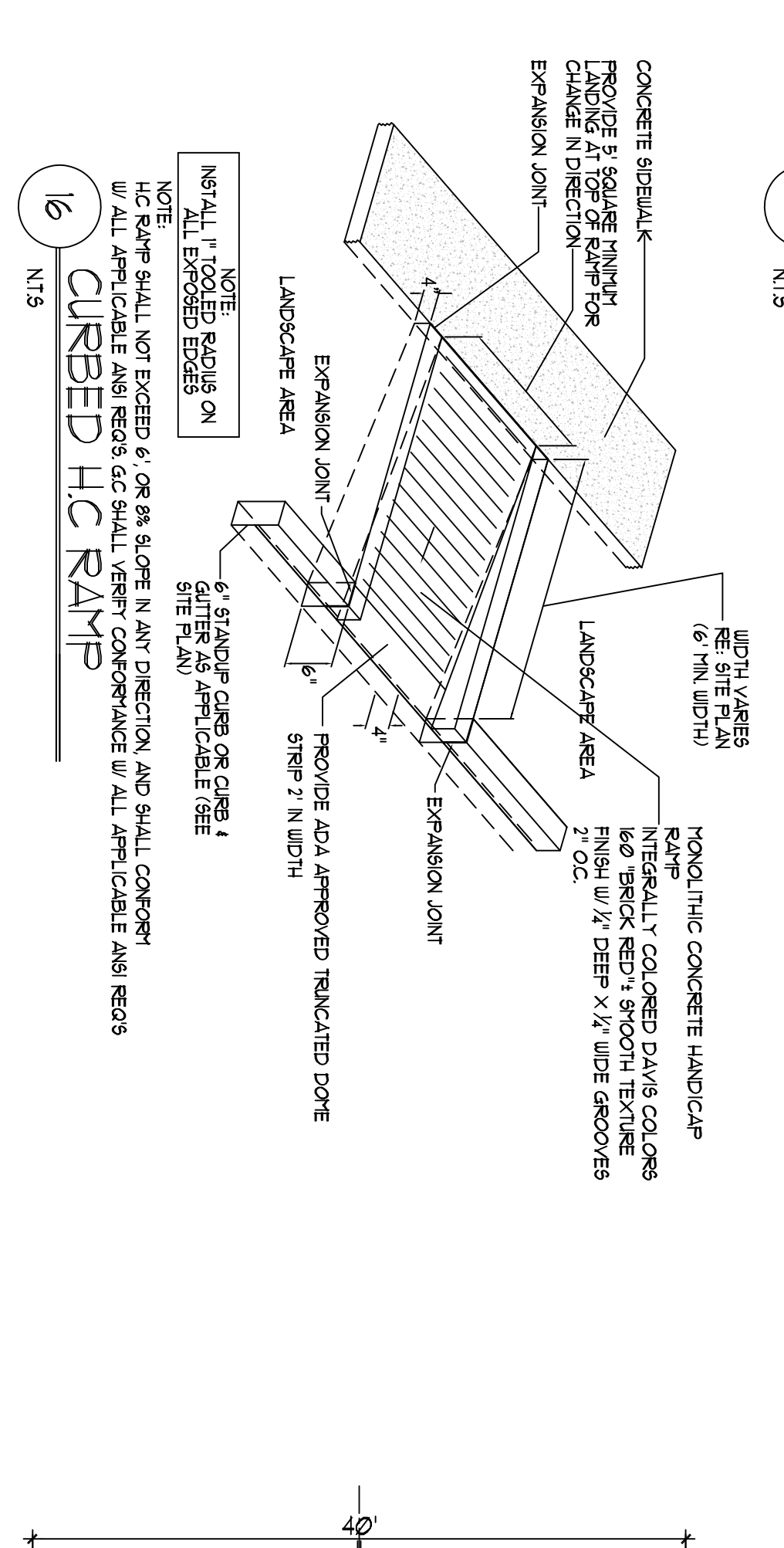
12 TYP. END ISLAND W/ WALK
NTS



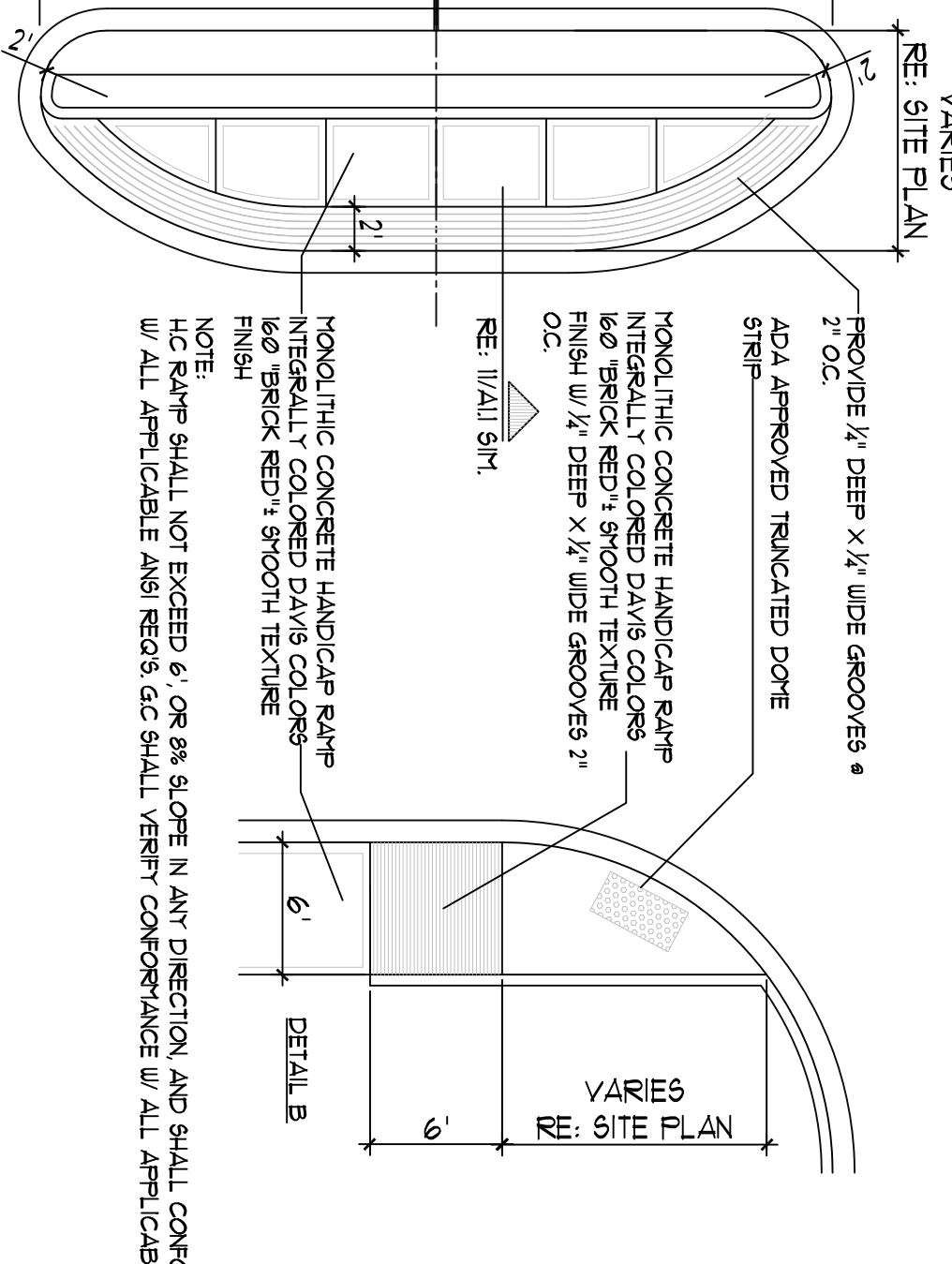
13 ISLAND CURB DETAIL
NTS



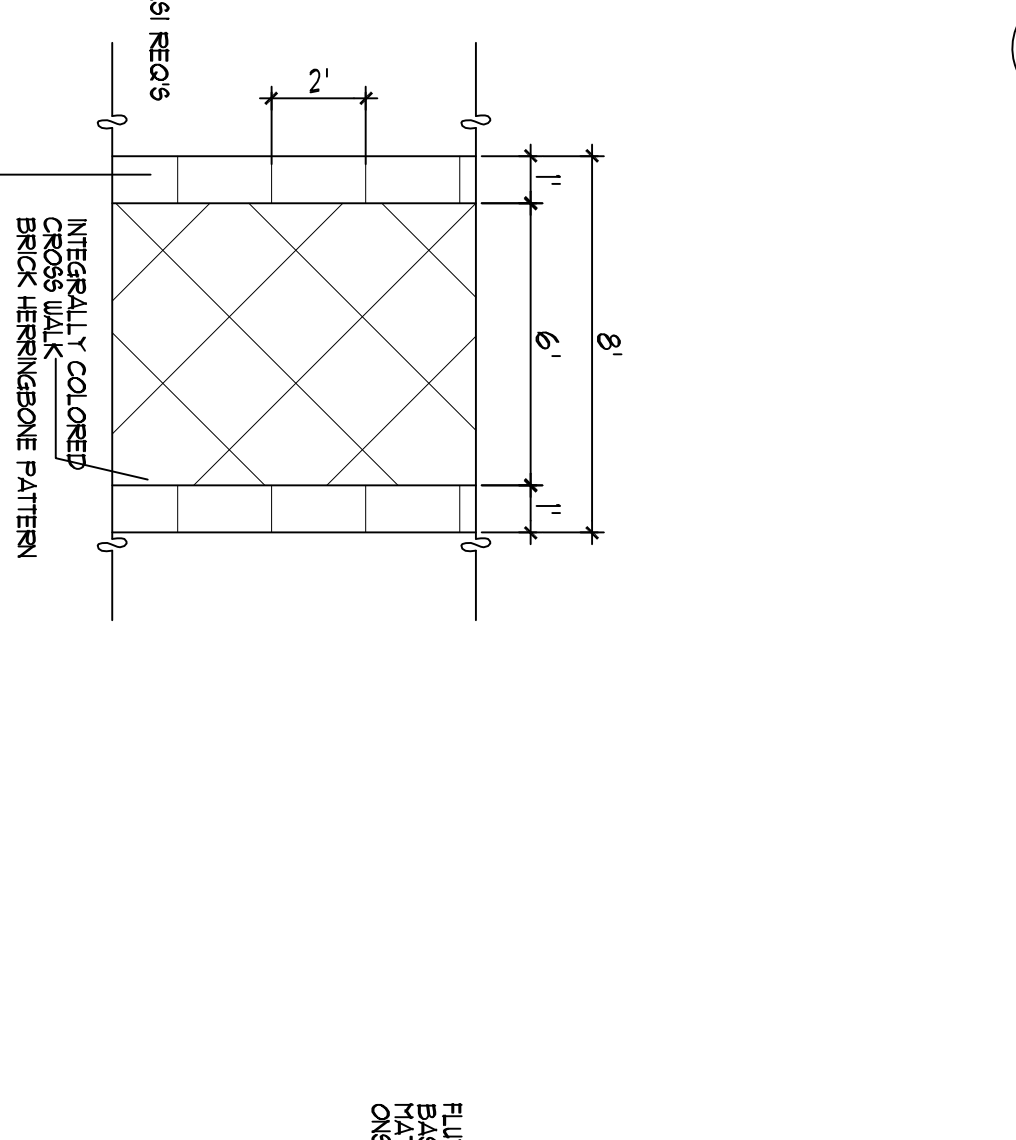
14 SIDEWALK W/ TURNDOWN CURB SECTION
NTS



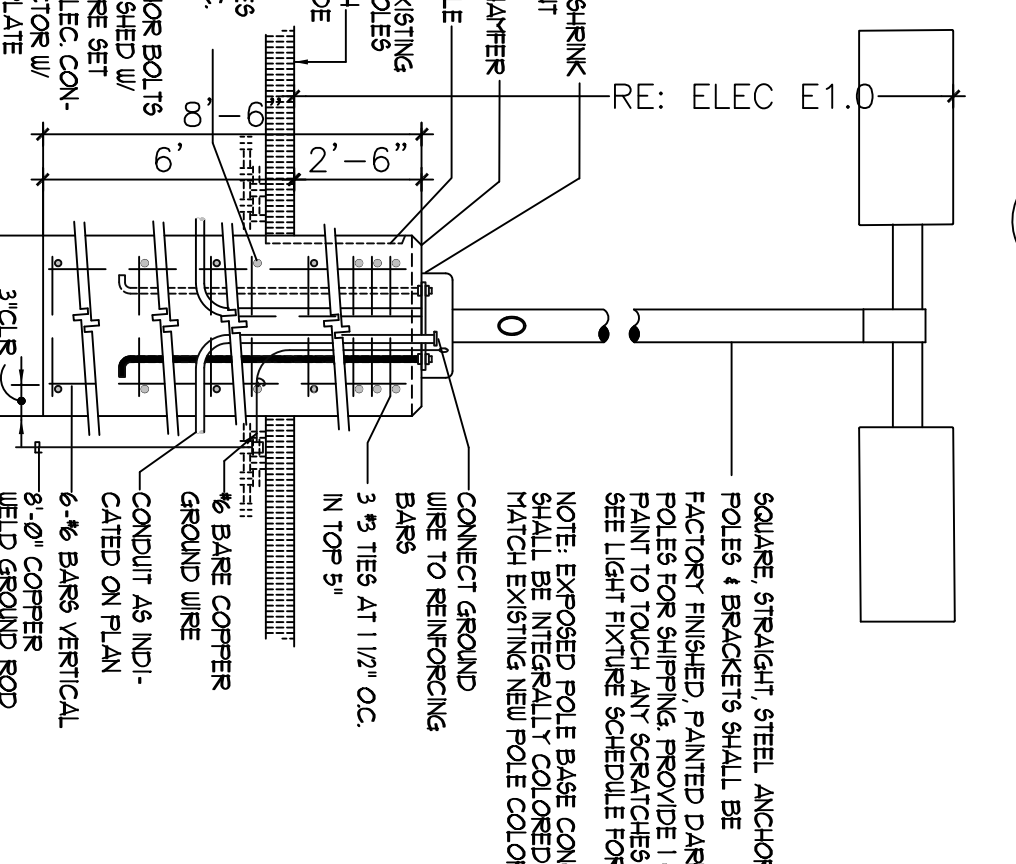
15 FLARED H/C RAMP
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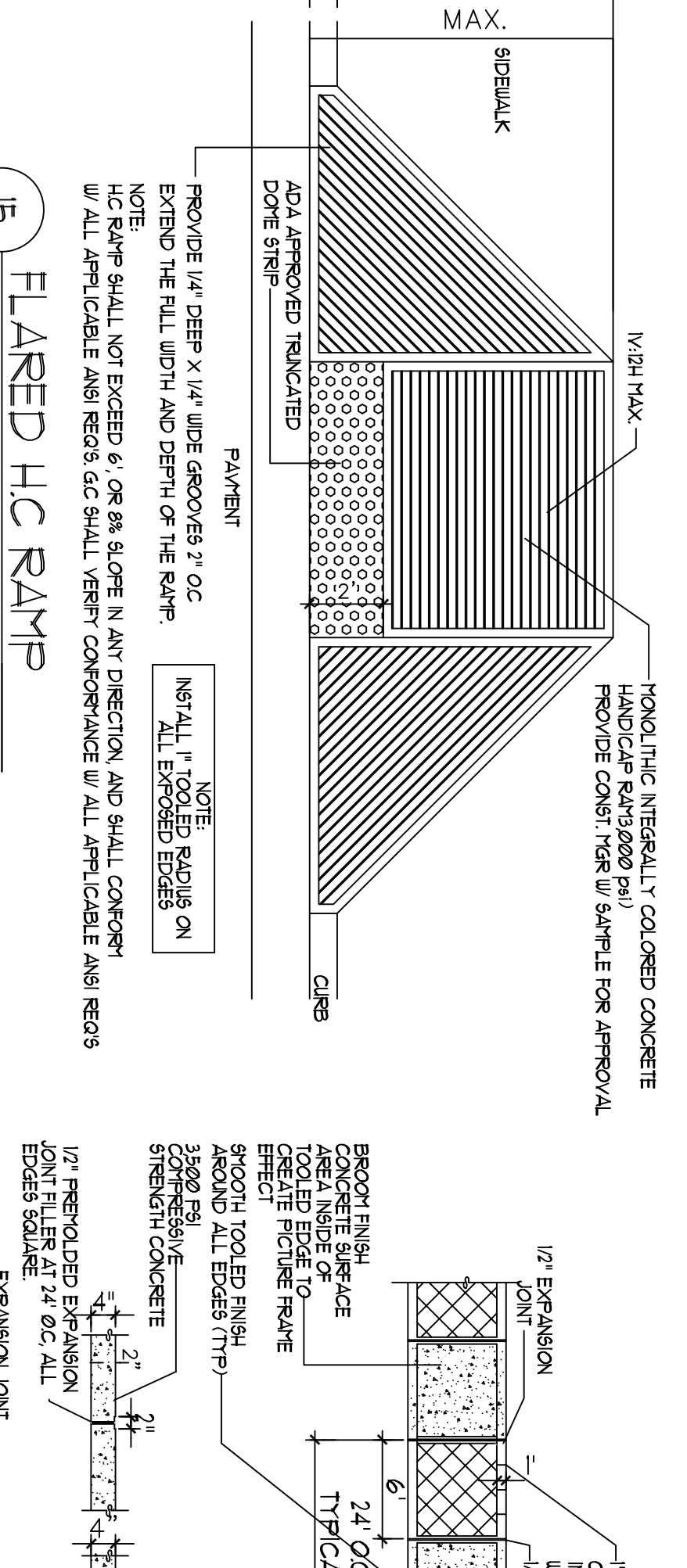
16 CURBED H/C RAMP
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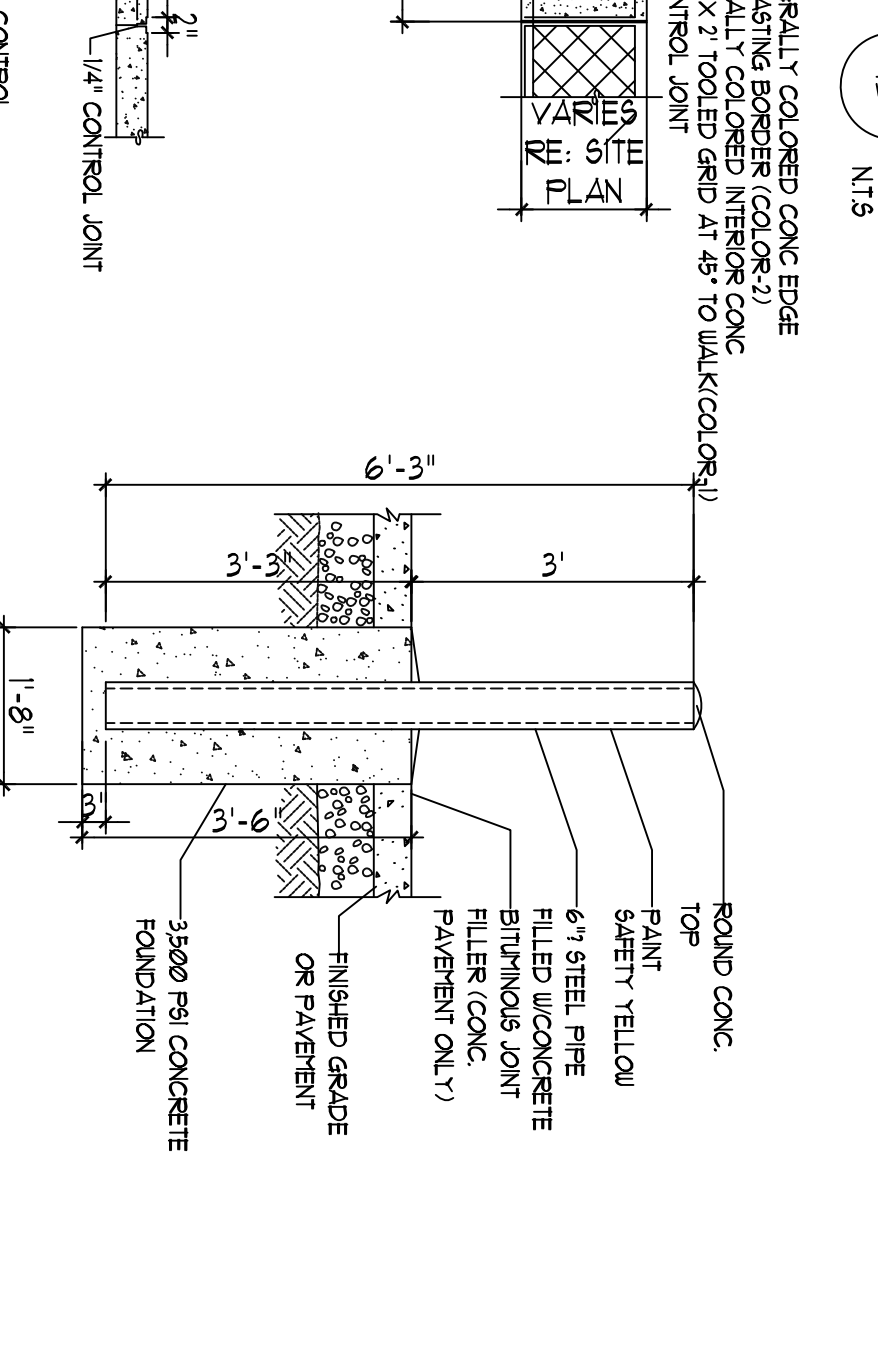
17 TYPICAL CURB DETAIL
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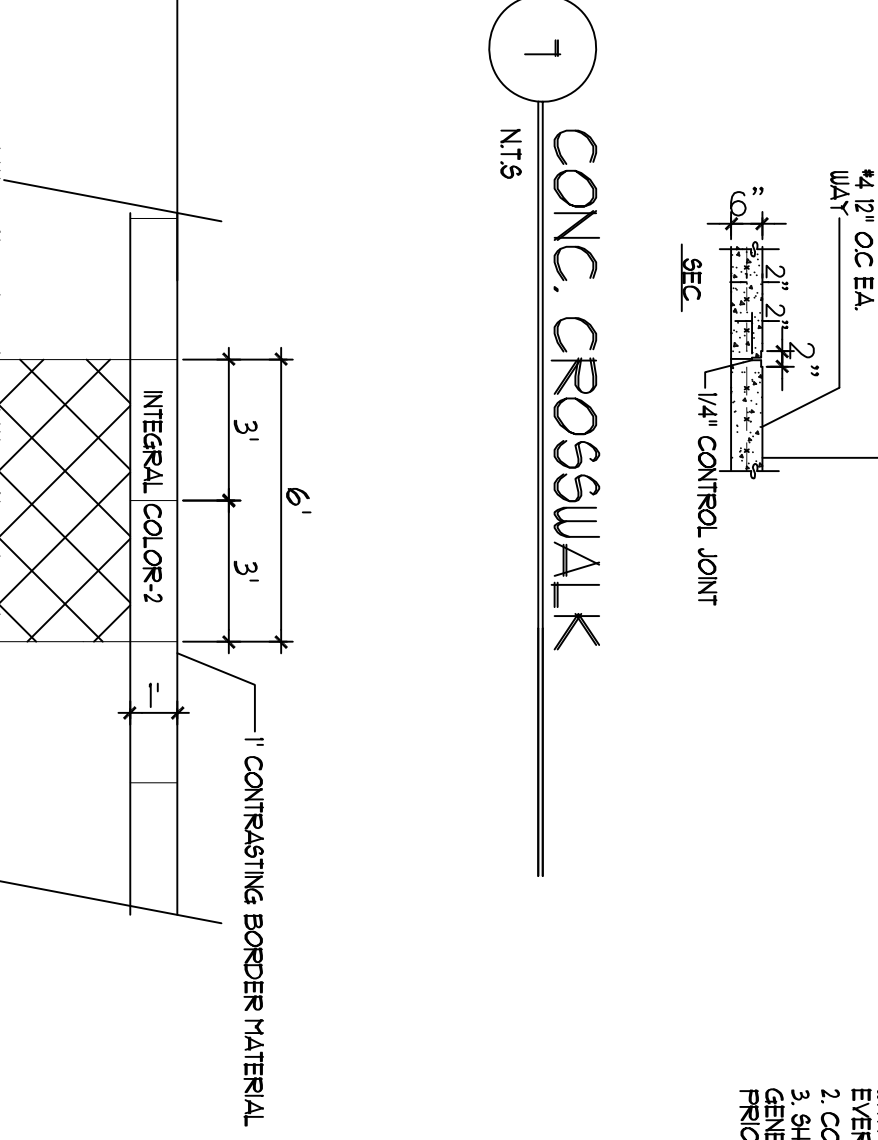
18 ISLAND DETAIL
NTS



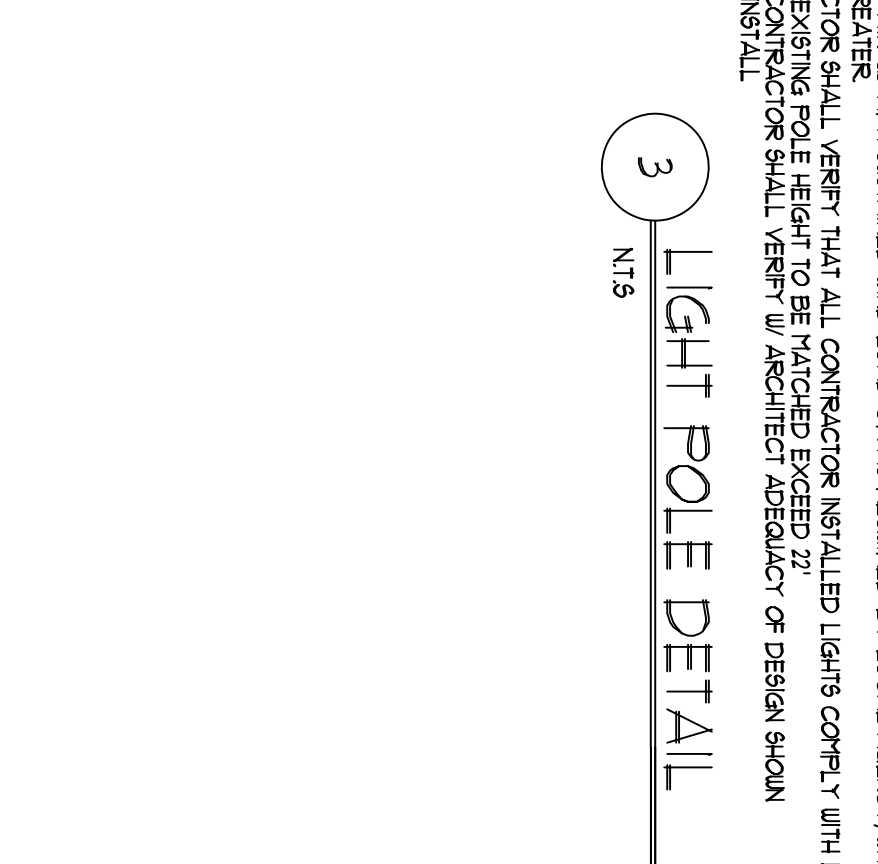
19 TYPICAL SIDEWALK
NTS



20 BOLLARD DETAIL
NTS



21 CONC. CROSSWALK
NTS



22 TYPICAL STREET SIDEWALK
NTS

REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 220 COPPER AVE. N.W. SUITE 350
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE HOTEL SITE DETAILS WINROCK TOWN CENTER ALBUQUERQUE NEW MEXICO	PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. WIN-EJ	DRAWN BY S-J
SHEET TITLE SITE DETAILS			

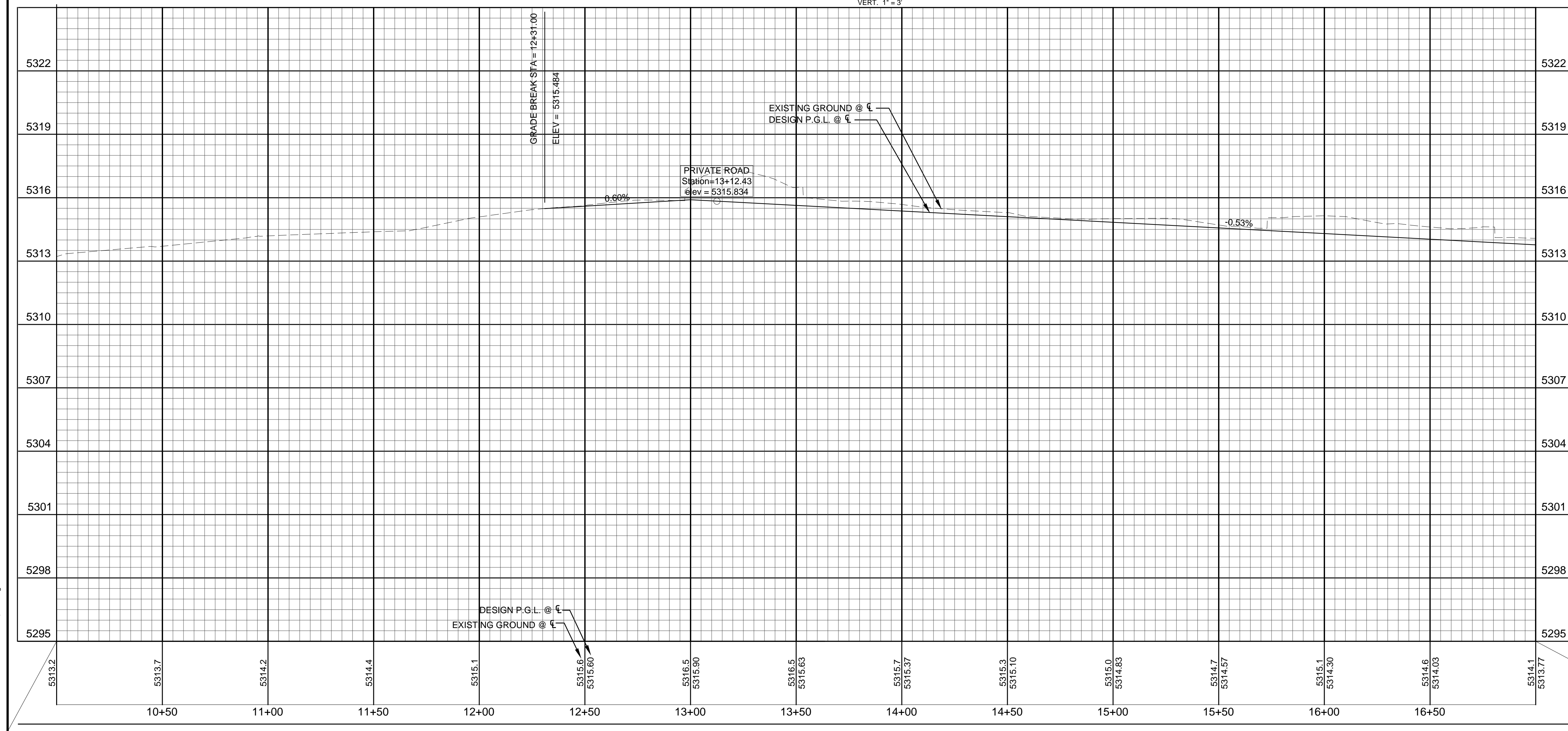
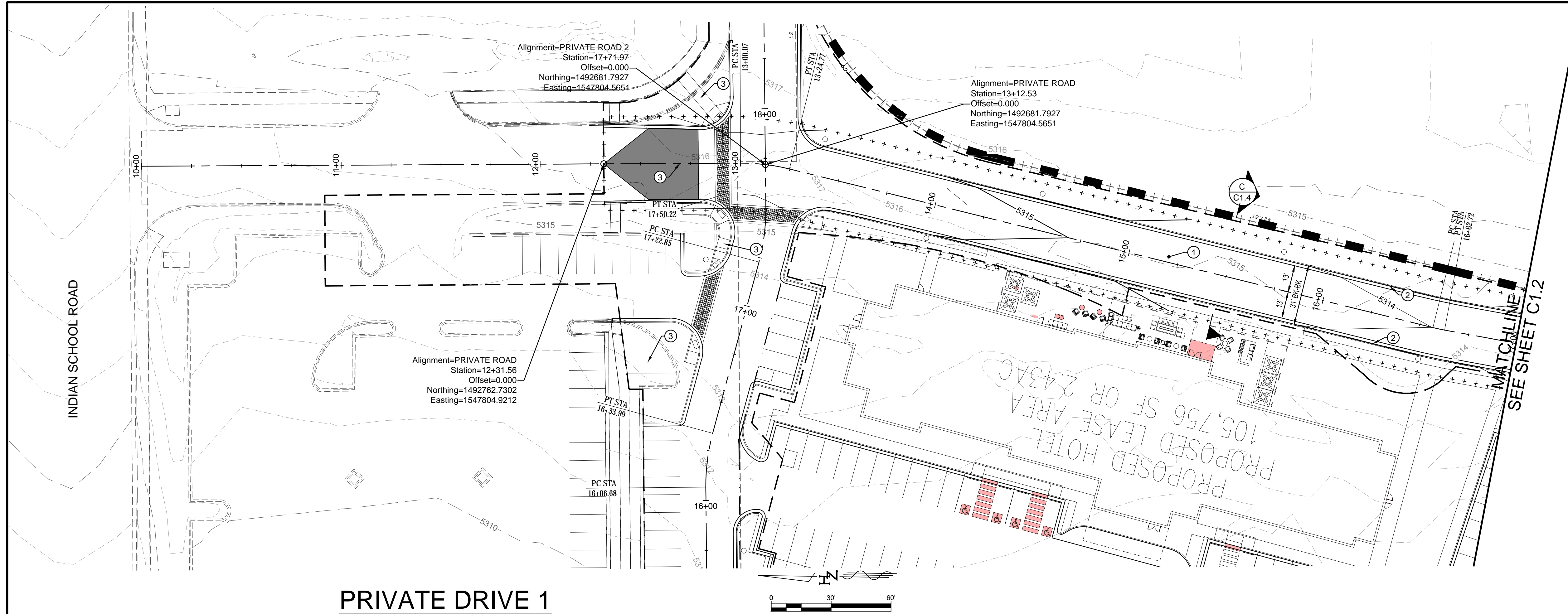
DATE: 10/15/09
 SCALE: AS NOTED
 SHEET: A11
 OF: 6

NOTE: CONTRACTOR SHALL VERIFY THAT THE COMPLETE ASSEMBLY, EXPOSURE, POLE BASE SHALL EVER BE GREATER THAN OBTAINED UNDER LOAD OR AS REQUIRED BY LOCAL AGENCY, WHICH CONTRACTOR SHALL VERIFY THAT ALL CONTRACTOR INSTALLED LIGHTS COMPLY WITH LOCAL CODE REQUIREMENTS. GENERAL CONTRACTOR SHALL VERIFY WITH ARCHITECT ADOPTED OF DESIGN SIGN PERSON TO SIGN.

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 User: scott.eldings@huit-zollars.com
 Last Saved: 1/3/2020 8:18:32 AM, AutoCAD SHEET SET C101.dwg



PAVING CONSTRUCTION NOTES

- ① CONSTRUCT PRIVATE ROADWAY PER DETAIL A ON C104.
- ② CONSTRUCT 6" STD CURB & GUTTER.
- ③ CONSTRUCT 6" SIDEWALK.
- ④ CONSTRUCT CROWN TRANSITION PER DETAIL B, SHEET C104.
- ⑤ CONSTRUCT CURB RETURNS.
- ⑥ CONSTRUCT CURB RAMP.
- ⑦ STOP SIGN.

LEGEND

- EX. RIGHT-OF-WAY
- EX. EASEMENT
- EX. CURB & GUTTER
- NEW CURB & GUTTER
- CENTERLINE
- NEW STRIPE
- NEW SIGN
- EX. STREET LIGHT
- NEW CONC. COLLAR
- ASPHALT PAVED ROADWAY
- SIDEWALK

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	FOUND MONUMENT "LH19A"	DATE	FIELD NOTES	BY
WORKED BY	DATE	A CITY OF ALBUQUERQUE BRASS DISK SET IN A CONCRETE POST			
INSPECTOR'S ACCEPTANCE BY	DATE	0.1 FEET BELOW GROUND LEVEL AND IS STAMPED "LH19A, 1989"			
VERIFICATION BY	DATE	X = 1548398.44			
COMPARISON BY	DATE	Y = 1493076.47			
MICRO-FILM INFORMATION	DATE	ELEVATION IS 5326.611 (NAVD 1988)			
RECORDED BY	DATE				
NO.					

ENGINEER'S SEAL
MULBERRY COURT
ROAD PLAN AND PROFILE
 REVISIONS
 DESIGN

NO. DATE
 DESIGNED BY: NV DATE: DEC 2019
 DRAWN BY: LT DATE: DEC 2019
 DWG NAME: C101.dwg
 CHECKED BY: SE DATE: JAN. 1, 2020

ROBERT J. DENFEL III
 LICENSED PROFESSIONAL ENGINEER
 1804

PRICING DOCUMENT

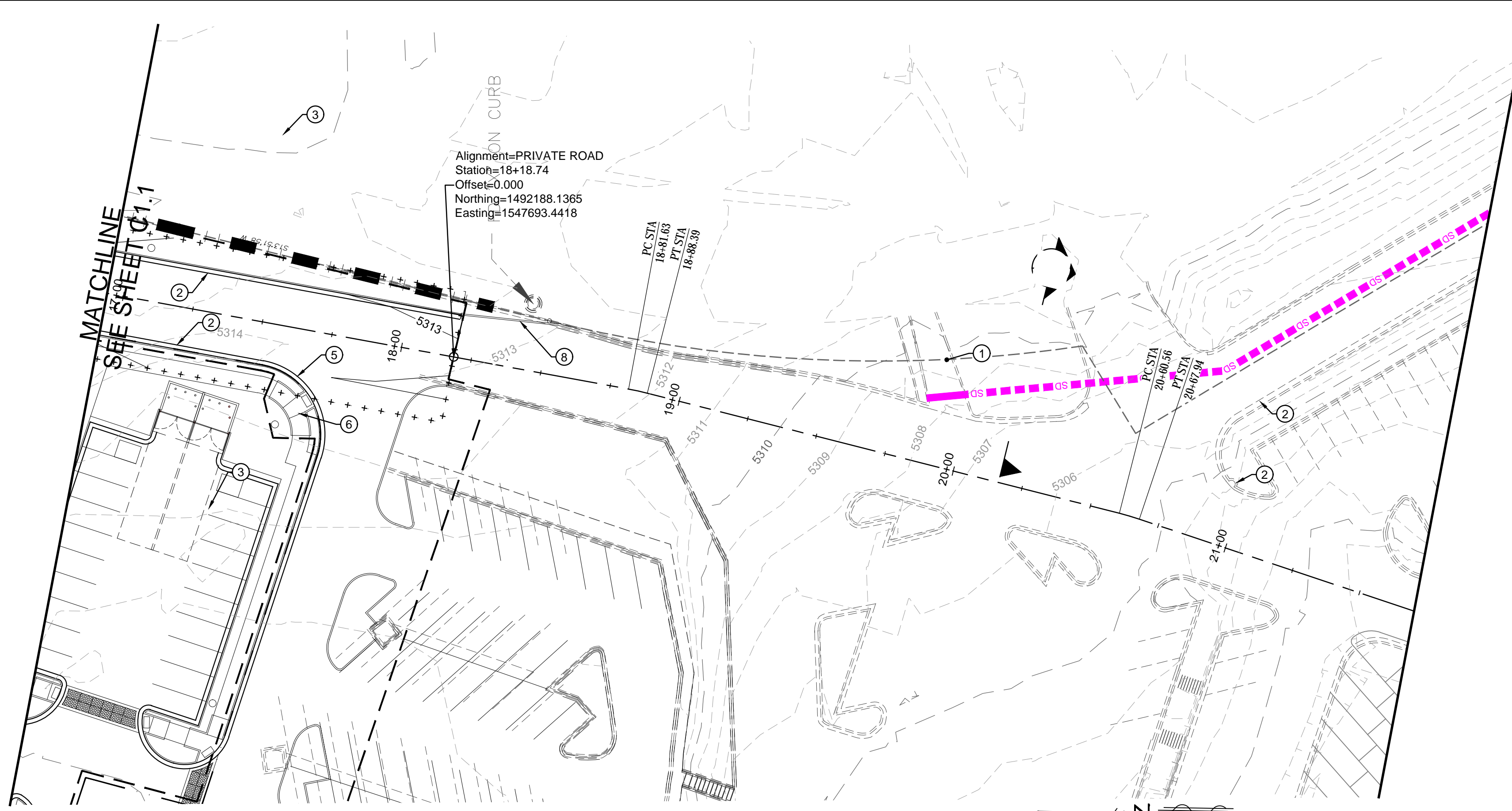
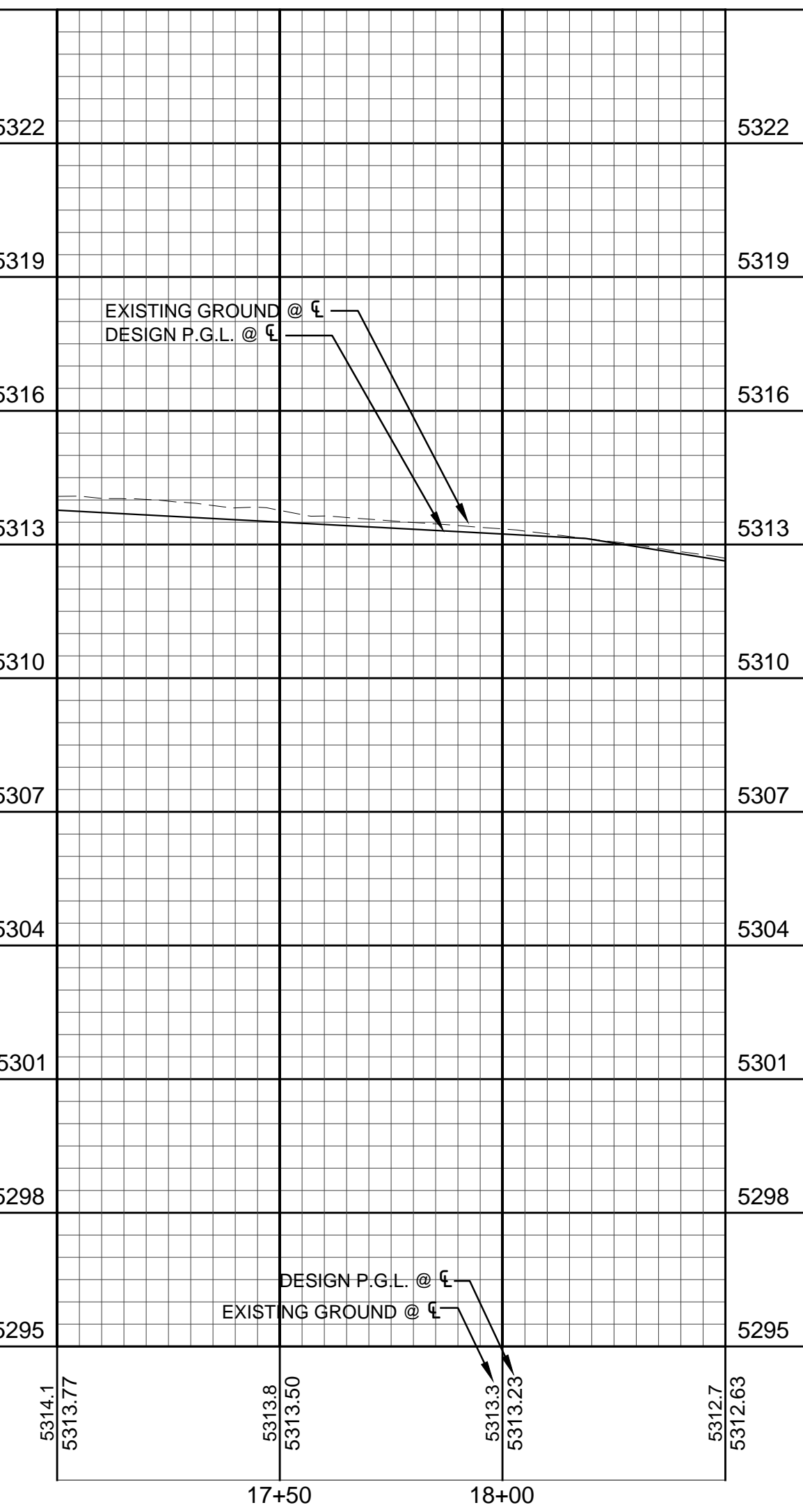
Designed By:
HUIT-ZOLLARS
 Huit-Zollars, Inc. Albuquerque
 6501 Americas Parkway NE, Suite 550
 Albuquerque, New Mexico 87110
 Phone (505) 883-8114 Fax (505) 883-5022

MARRIOTT SUITES @
WINROCK TOWN CENTER
ALBUQUERQUE, NM

TITLE:
PRIVATE ROAD 1 PLAN AND PROFILE

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXX.XX	J-19	C1.1	

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PRIVATE DRIVE 1

SCALES: HORIZ. 1" = 30'
 VERT. 1" = 3'

- PAVING CONSTRUCTION NOTES**
- CONSTRUCT PRIVATE ROADWAY PER DETAIL A ON C104.
 - CONSTRUCT 6" STD CURB & GUTTER.
 - CONSTRUCT 6' SIDEWALK.
 - CONSTRUCT CROWN TRANSITION PER DETAIL B, SHEET C104.
 - CONSTRUCT CURB RETURNS.
 - CONSTRUCT CURB RAMP.
 - STOP SIGN.
 - STOP SIGN.

LEGEND

- - - - - EX. RIGHT-OF-WAY
- - - - - EX. EASEMENT
- - - - - EX. CURB & GUTTER
- - - - - NEW CURB & GUTTER
- - - - - CENTERLINE
- - - - - NEW STRIPE
- - - - - NEW SIGN
- EX. STREET LIGHT
- NEW CONC. COLLAR
- ASPHALT PAVED ROADWAY
- SIDEWALK

SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	BY	NO.	DATE	CONTRACTOR	DATE	DATE
					WORKED BY		
					INSPECTOR'S ACCEPTANCE BY		
					VERIFICATION BY		
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					DATE		
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					DATE		
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					DATE		
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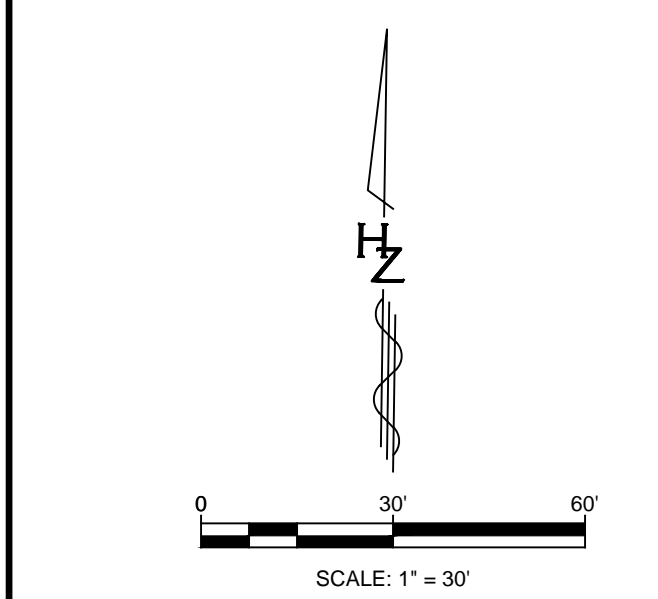
ENGINEER'S SEAL

MULBERRY COURT ROAD PLAN AND PROFILE

REVISIONS

NO.	DATE	REVISIONS
		DESIGN

DESIGNED BY: NV DATE: DEC 2019
 DRAWN BY: LT DATE: DEC 2019
 DWG NAME: C101.dwg
 CHECKED BY: SE DATE: JAN. 1, 2020



Designed By:
HUITT-ZOLIARS
 Huitt-Zollars, Inc. Albuquerque
 6501 Americas Parkway NE, Suite 550
 Albuquerque, New Mexico 87110
 Phone (505) 883-8114 Fax (505) 883-5022

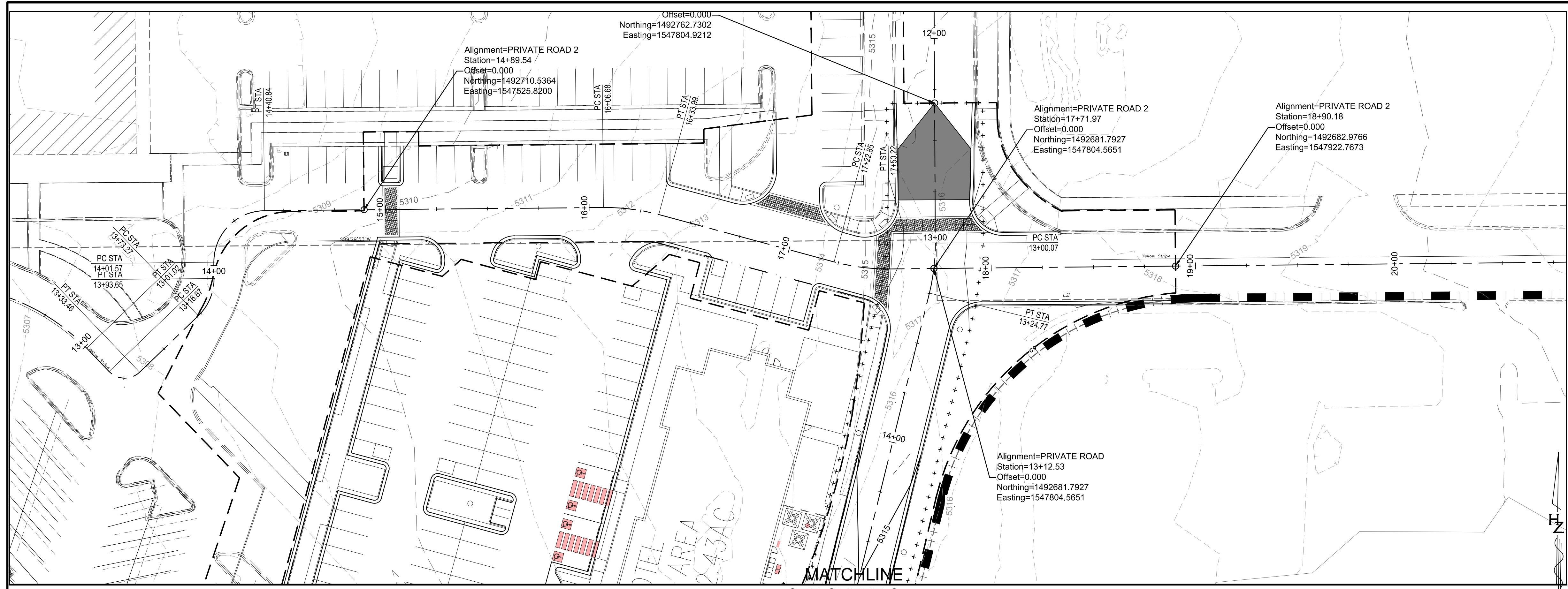
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MARRIOTT SUITES @ WINROCK TOWN CENTER ALBUQUERQUE, NM

TITLE: PRIVATE ROAD 1 PLAN AND PROFILE

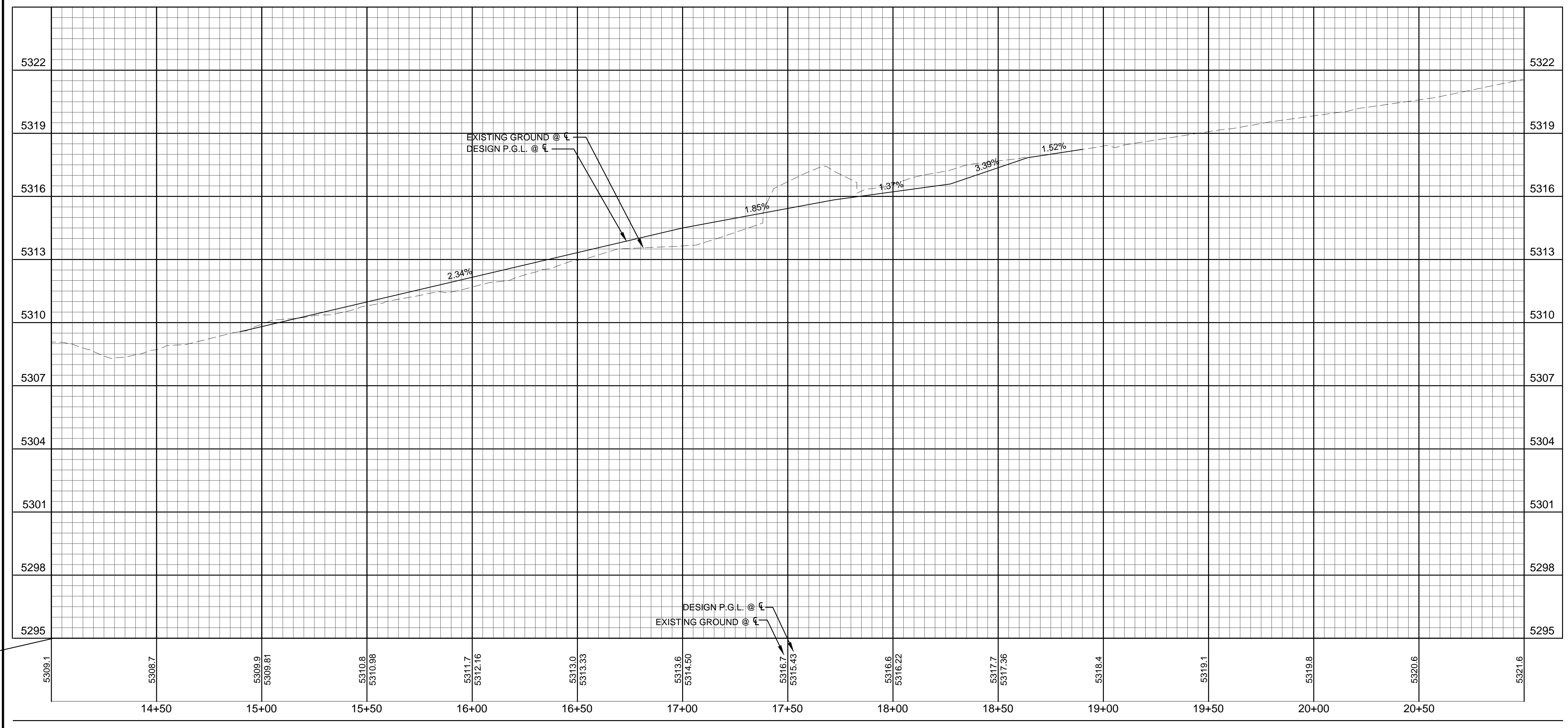
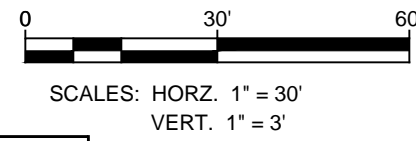
Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. XXXX.XX Zone Map No. J-19 Sheet C1.2 Of



PRIVATE DRIVE 2

SEE SHEET C1.1



- PAVING CONSTRUCTION NOTES**
- CONSTRUCT PRIVATE ROADWAY PER DETAIL A ON C104.
 - CONSTRUCT 6" STD CURB & GUTTER.
 - CONSTRUCT 6' SIDEWALK.
 - CONSTRUCT CROWN TRANSITION PER DETAIL B, SHEET C104.
 - CONSTRUCT CURB RETURNS.
 - CONSTRUCT CURB RAMP.
 - STOP SIGN.

LEGEND

- EX. RIGHT-OF-WAY
- EX. EASEMENT
- EX. CURB & GUTTER
- NEW CURB & GUTTER
- CENTERLINE
- NEW STRIPE
- NEW SIGN
- EX. STREET LIGHT
- NEW CONC. COLLAR
- ASPHALT PAVED ROADWAY
- SIDEWALK

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	FOUND MONUMENT "L_H19A"	DATE	FIELD NOTES	BY
WORKED BY	DATE	A CITY OF ALBUQUERQUE BRASS DISK SET IN A CONCRETE POST			
INSPECTOR'S ACCEPTANCE BY	DATE	0.1 FEET BELOWGROUND LEVEL AND IS STAMPED "L_H19A, 1989"			
VERIFICATION BY	DATE	X = 1548358.44			
COMPARED BY	DATE	Y = 1493076.47			
DATE		ELEVATION IS 5296.611 (NAD 1988)			
RECORDED BY	DATE				
NO.					

ENGINEER'S SEAL

MULBERRY COURT ROAD PLAN AND PROFILE

REVISIONS

NO.	DATE	REVISIONS
		DESIGN

DESIGNED BY: NV DATE: DEC 2019
 DRAWN BY: LT DATE: DEC 2019
 DWG NAME: C101.dwg
 CHECKED BY: SE DATE: JAN. 1, 2020

Designed By:

HUITT-ZOLIARS
 Huitt-Zoliars, Inc. Albuquerque
 6501 Americas Parkway NE, Suite 550
 Albuquerque, New Mexico 87110
 Phone (505) 883-8114 Fax (505) 883-5022

MARRIOTT SUITES @ WINROCK TOWN CENTER ALBUQUERQUE, NM

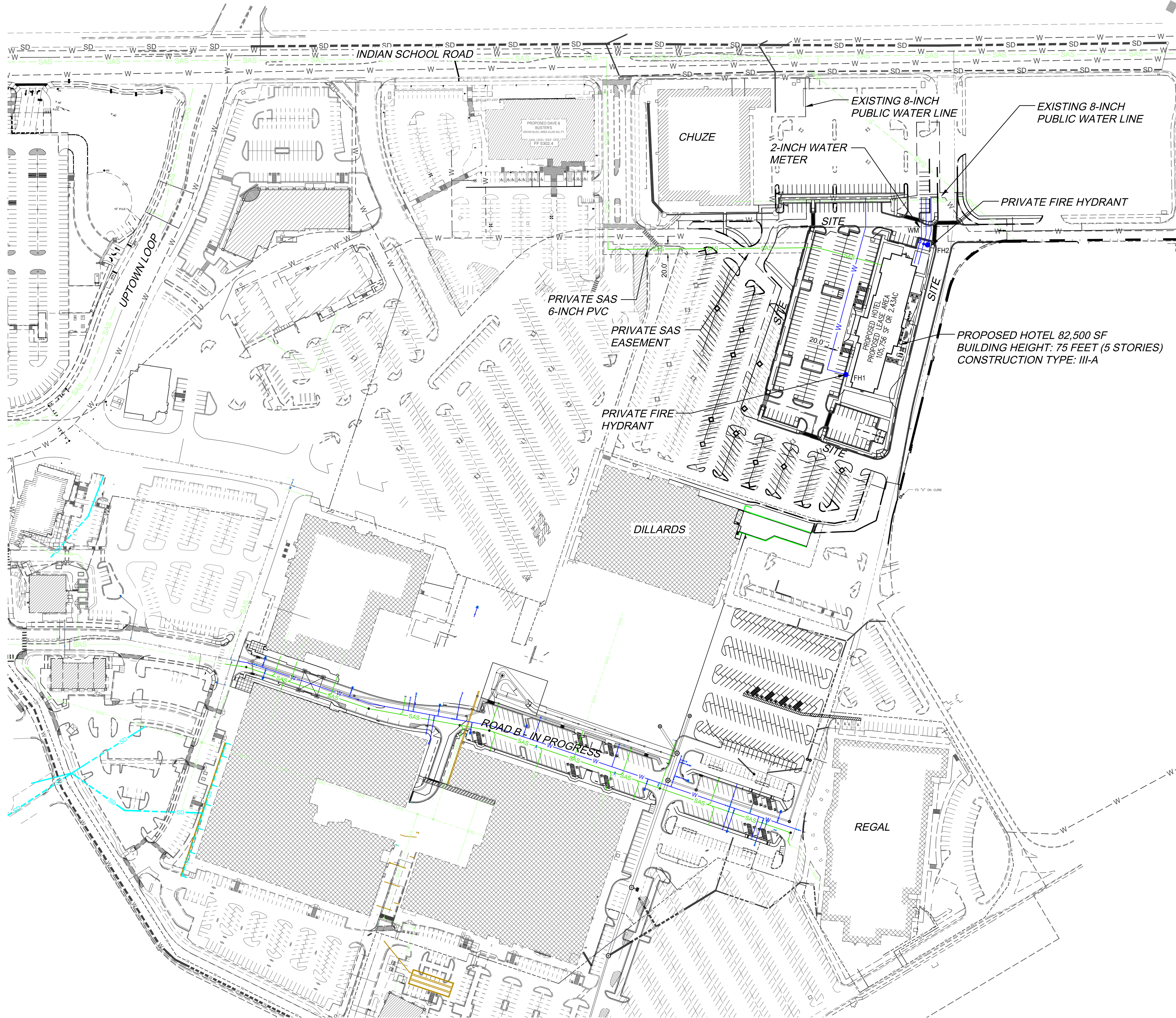
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Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.

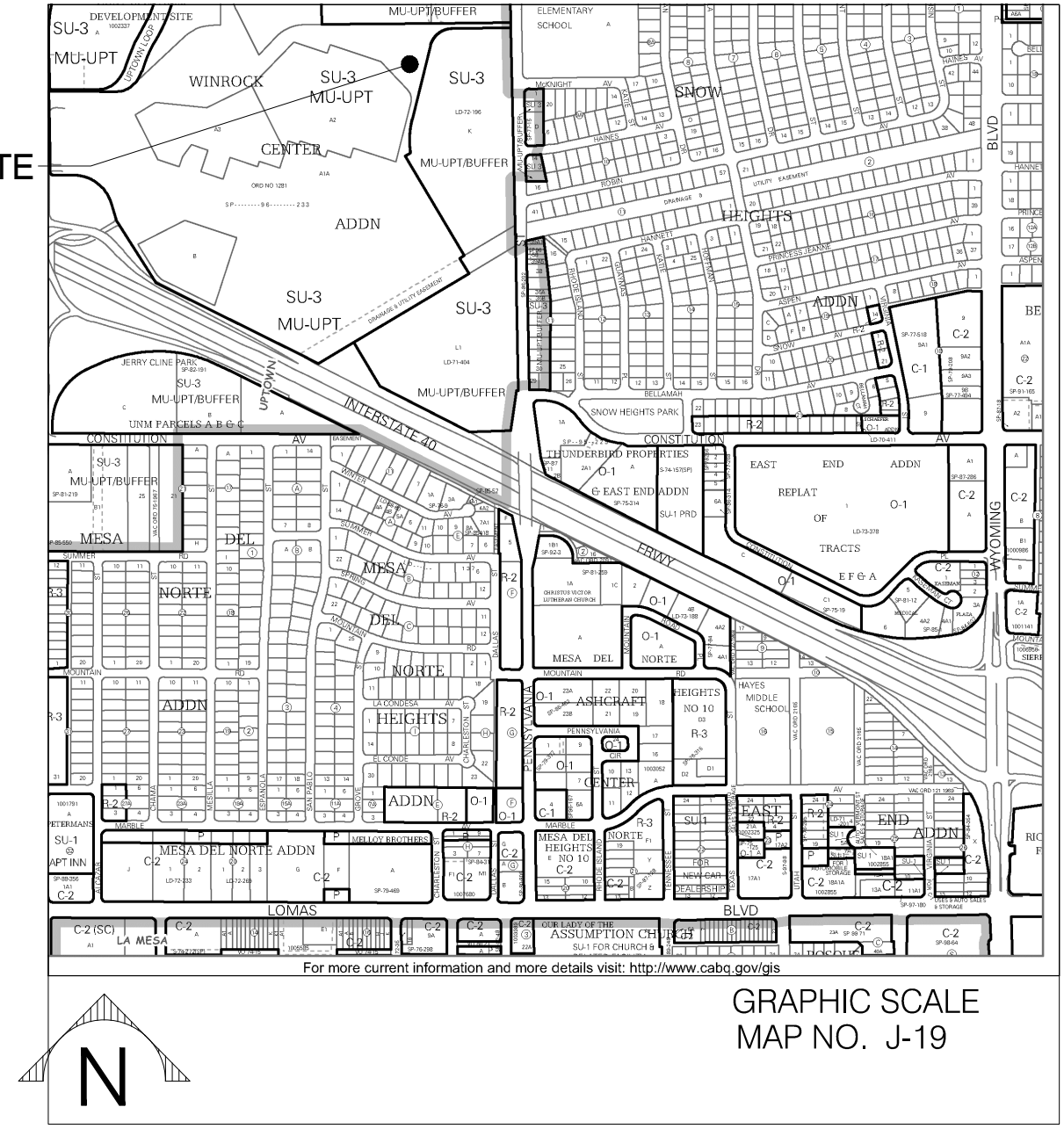
City Project No. XXXX.XX Zone Map No. J-19 Sheet C1.3 Of SHEET

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VICINITY MAP



CONCEPTUAL-NOT-FOR-CONSTRUCTION

Designed By:
HUITT-ZOLIARS
 Huitt-Zoliars, Inc. Albuquerque
 6501 Americas Parkway NE, Suite 550
 Albuquerque, New Mexico 87110
 Phone (505) 883-8114 Fax (505) 883-5022

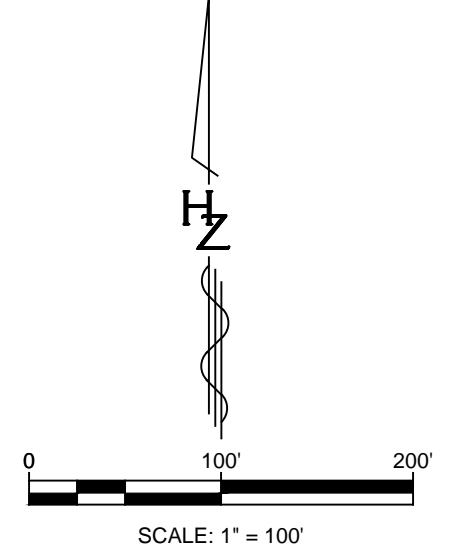
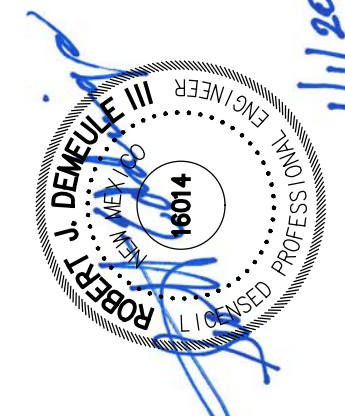
MARRIOTT SUITES @
 WINROCK TOWN CENTER
 ALBUQUERQUE, NM

TITLE: **CONCEPTUAL UTILITY PLAN**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. XXXX.XX Zone Map No. J-19 Sheet C200 Of

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	FOUND MONUMENT "1_H19A"	DATE	FIELD NOTES	NO.	BY	REVISIONS
WORK PERFORMED BY	DATE	A CITY OF ALBUQUERQUE BRASS DISK SET IN A CONCRETE POST	DATE				DESIGN
INSPECTOR'S ACCEPTANCE BY	DATE	0.1 FEET BELOWGROUND LEVEL AND IS STAMPED "1-H19A, 1989"	DATE				
VERIFICATION BY	DATE	X = 1548336.44	DATE				
COMPARISON BY	DATE	Y = 1493076.47	DATE				
MICRO-FILM INFORMATION	DATE	ELEVATION IS 5226.611 (NAVD 1988)	DATE				
RECORDED BY	DATE		DATE				



CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

December 17, 2019

Scott Eddings, P.E.
Huitt-Zollars
333 Rio Rancho Blvd., Suite 101
Rio Rancho, NM 87124

**RE: Marriot Suites at Winrock
2100 Louisiana Blvd NE
Conceptual Grading and Drainage Plan Stamp Date: 12/10/19
Hydrology File: J19D058I**

Dear Mr. Eddings:

Based on submittal received on 12/11/19, the Conceptual Grading and Drainage Plan is approved for Site Plan for Building Permit.

PO Box 1293

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Albuquerque

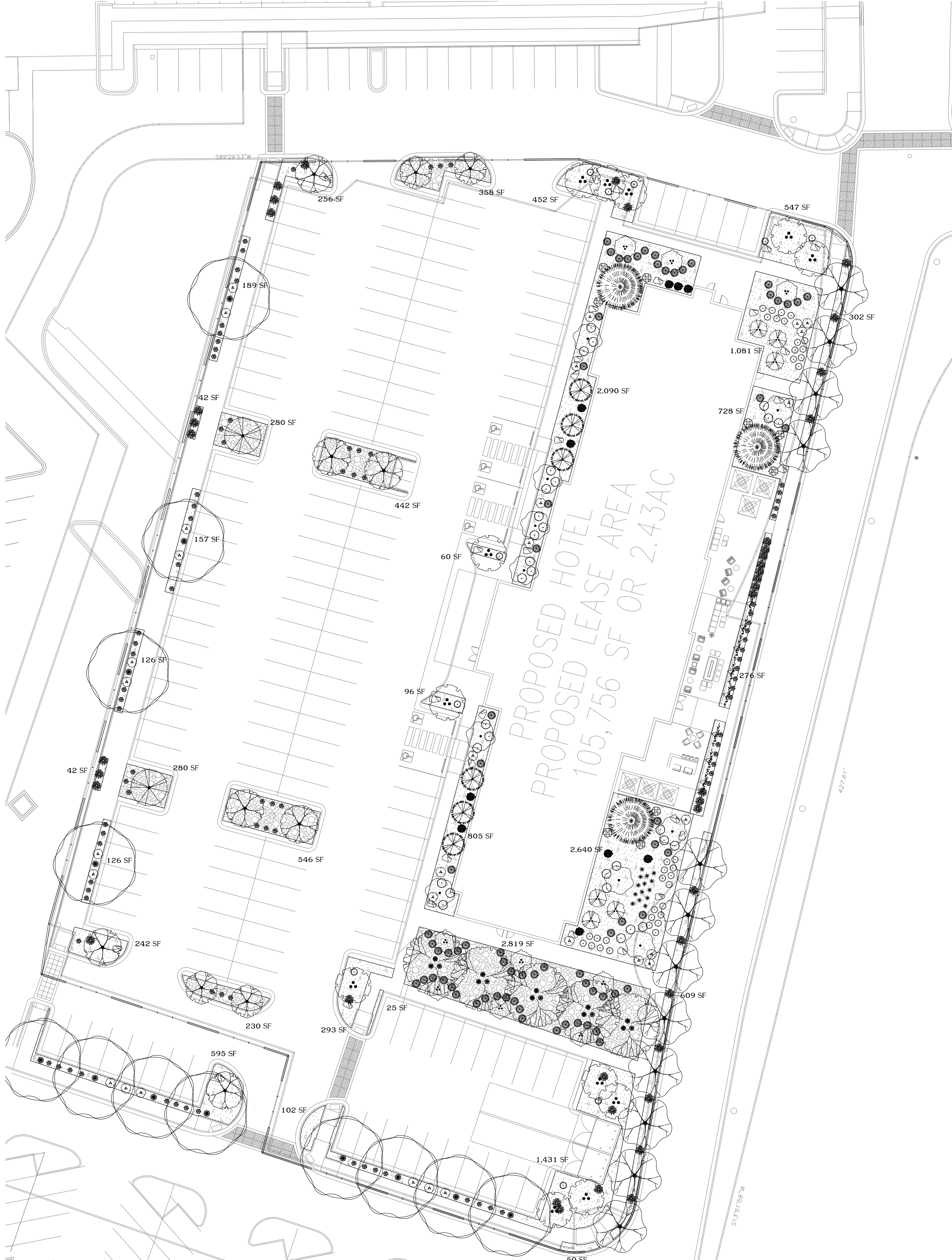
Sincerely,

NM 87103

A handwritten signature in black ink, appearing to read "Dana Peterson".

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov



LEGAL DESCRIPTION:
 TRACT A-1-A-1-A-1-A WINROCK CENTER ADDN REPLAT OF PARCEL A-1-A-1-A-1-A.
 IDO-ZONE MX-H

GENERAL NOTES:
 1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
 2. LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.
 3. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.
 4. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN 'CLEAR SIGHT' AREAS.
 5. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (SECTION 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVER, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS.

PLANTINGS NOTES:
 1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE...
 2. THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.
 3. THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.
 4. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.
 5. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.

IRRIGATION NOTES:
 1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
 2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE. SEE I103 FOR DETAIL.
 4. USE SIX 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUNDCOVERS.
 5. INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.
 6. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
 7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.
 8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EASEMENTS.
 9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDSCAPE WITHOUT THE NEED OF BORING.
 10. SURROUNDING EXISTING AND REMAINING IRRIGATION SYSTEMS ARE TO BE INSPECTED PRIOR TO DEMOLITION IN ORDER TO DETERMINE THE MEANS NECESSARY TO PROTECT ANY SURROUNDING AND REMAINING PLANT MATERIAL AND SOIL.

SITE DATA

GROSS LOT AREA (2.43 ACRES)	105,756 SF
LESS BUILDING(S)	18,204 SF
NET LOT AREA	87,552 SF
REQUIRED LANDSCAPE	13,448 SF
15% OF NET LOT AREA	13,128 SF
PROPOSED LANDSCAPE	18,348 SF
PROPOSED OFF-SITE LANDSCAPE	595 SF
TOTAL PROPOSED LANDSCAPE	18,348 SF
PERCENT OF NET LOT AREA	21 %

REQUIRED STREET TREES 28
 PROVIDED/EXISTING AT 25' O.C. SPACING ALONG STREET 28
 REQUIRED PARKING LOT TREES 17
 PROVIDED AT 1 PER 10 SPACES (164 SPACES/10) 21
 TOTAL REQUIRED TREES: 45
 TOTAL PROVIDED TREES: 49

REQUIRED LANDSCAPE COVERAGE
 75% LIVE VEGETATIVE MATERIAL
 (18,348 SF PROPOSED LANDSCAPE X 75%) 13,761 SF MIN.
 PROVIDED GROUND COVER COVERAGE 14,025 SF
 PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS 76%

IRRIGATION NOTE

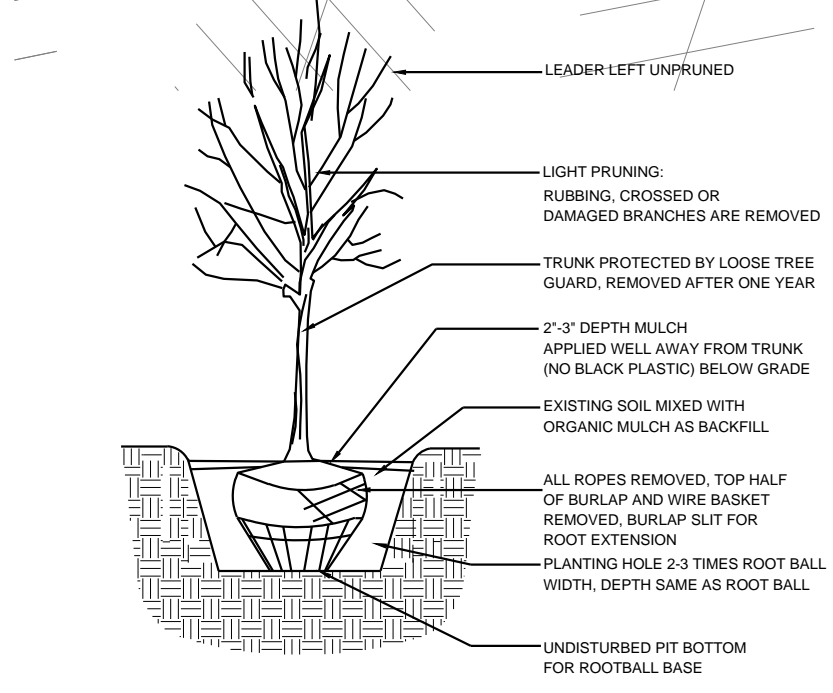
DRIP SYSTEM RUN CYCLES:
 ESTABLISHMENT AND SUMMER:
 1 HOUR/4 DAYS A WEEK
 SPRING:
 1 HOUR/2-3 DAYS A WEEK
 FALL:
 1 HOUR/2-3 DAYS A WEEK
 WINTER:
 1 HOUR/2 DAYS PER MONTH

PLANT SCHEDULE BASE 12.30.19

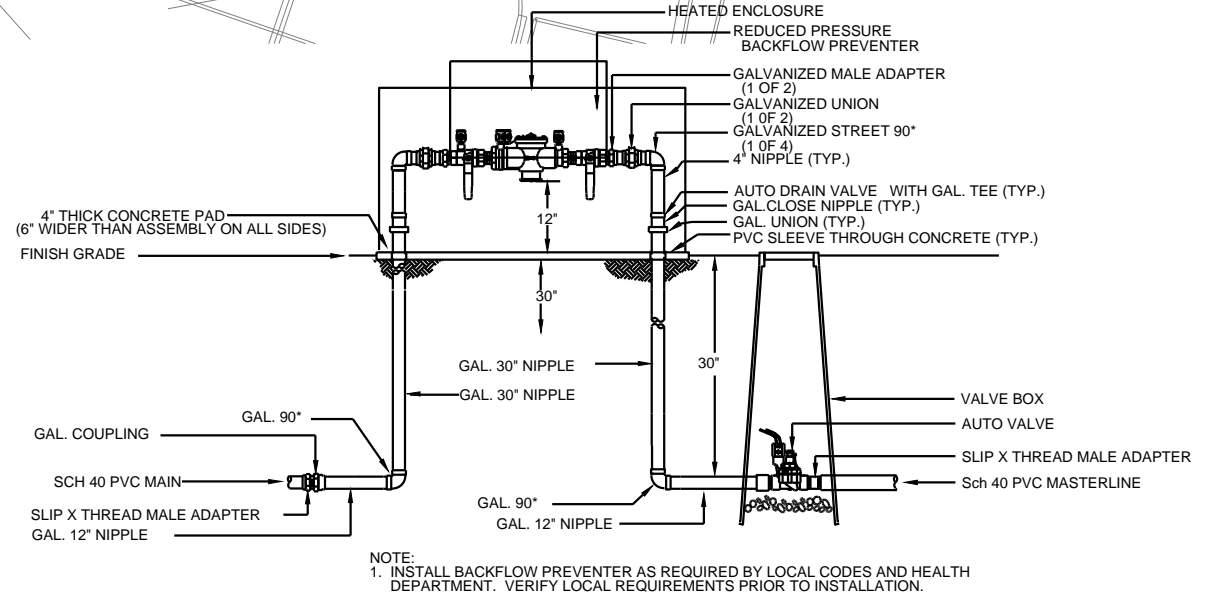
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	12	Pistacia chinensis / Chinese Pistache	2" B&B	Medium	60	
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	10	Forestiera neomexicana / New Mexican Privet	24"box	Medium	40	15' X 15'
	6	Lagerstroemia indica / Crape Myrtle	20 gal	High	35	15' X 15'
	5	Quercus muehlenbergii / Chinkapin Oak	2" B&B	Medium	60	40' X 40'
	12	Ulmus propinqua 'Emerald Sunshine' / Elm	2" B&B	Medium	60	35' X 25'
	12	Vitex agnus-castus / Chaste Tree	24"box	Medium	50	20' X 20'
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	3	Picea pungens 'Baby Blue Eyes' / Baby Blue Eyes Spruce	6'-8" B&B	Medium	60	50'x20'
	6	Pinus leucodermis / Bosnian Pine	6'-8" B&B	Medium	60	20' X 10'
FRUIT TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	4	Malus domestica 'Golden Delicious' / Golden Delicious Apple	1 1/2" B&B	Medium +	55	20' X 25'
	2	Prunus armeniaca 'Moorpark' / Moorpark Apricot	1 1/2" B&B	Medium +	55	15' X 15'
	4	Prunus avium 'Lapins' / Lapins Cherry	1 1/2" B&B	Medium +	55	20' X 20'
	3	Prunus persica 'Early Elberta' / Early Elberta Peach	1 1/2" B&B	Medium +	50	15' X 15'
	9	Punica granatum 'California Sunset' / California Sunset Pomegranate	15 gal	High	40	10' X 8'
VINES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	8	Lonicera japonica 'Purpurea' / Purple Japanese Honeysuckle	5 gal	Medium+	40	Climbing x 10'
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	9	Berberis thunbergii 'Atropurpurea' / Red Leaf Japanese Barberry	5 gal	Medium	40	4' X 4'
	35	Lavandula angustifolia / English Lavender	5 gal	Medium	25	3' X 3'
	30	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Low+	40	4' X 4'
	10	Rosa x 'Knockout' TM / Rose	5 gal	Medium	30	6' X 5'
	10	Zauschneria garrettii 'Orange Carpet' / Hummingbird Trumpet	1 gal	Low+	25	3' X 4'
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	30	Yucca pendula / Soft Leaf Yucca	5 gal	RW	35	5' X 4'
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	41	Rosmarinus officinalis 'Arp' / Arp Rosemary	5 gal	Low+	40	6' X 4'
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	90	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	Medium	20	30" X 2'
	70	Miscanthus sinensis 'Gracillimus' / Maiden Grass	1 gal	Medium+	20	5' X 5'
	14	Muhlenbergia rigida 'Nashville' / Purple Muhly	1 gal	Low+	20	2' X 3'

REFERENCE NOTES SCHEDULE BASE 12.30.19

SYMBOL	DESCRIPTION	QTY	DETAIL
	Large Boulder	29	2019-12-30 17:06
	Amaretto 3/8 - 1 1/4" Gravel 3" Depth over Filter Fabric	13,392 sf	
	2-4" Blue Sais Cobble 4" Depth	4,956 sf	



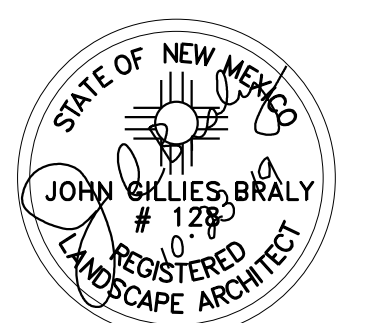
TREE PLANTING DETAIL



RP BACKFLOW/MASTER VALVE DETAIL

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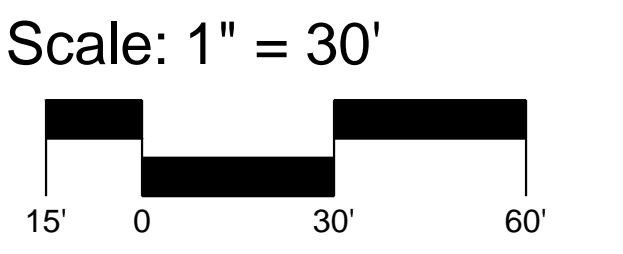
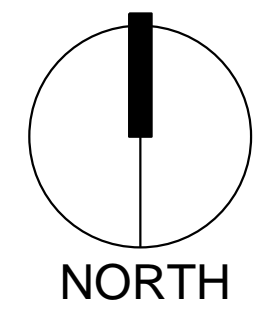
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Date: 10/23/2019
 Revisions:
 ▲ 12/30/2019
 ▲
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Drawn by: VBLOUNT
 Reviewed by: CM

**Hotel At Winrock
 Landscape Plan**
 2100 Louisiana Blvd
 Albuquerque, New Mexico



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